

Attachment D

Competitive Design Alternatives Report

COMPETITIVE DESIGN ALTERNATIVES REPORT

890-898 BOURKE STREET, ZETLAND

JUNE 2017
SA6433
PREPARED FOR BAOZHENG DEVELOPMENT PTY LTD

URBIS

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1. INTRODUCTION

1.1. OVERVIEW

The purpose of this *Competitive Design Alternatives Report* is to inform the City of Sydney Council (City) on the process and outcomes of the Competitive Design Alternative Process (Competitive Process) for the selection of the architectural design for the redevelopment of 890-898 Bourke Street, Zetland (the site).

Baozheng Development Pty Ltd is the Proponent for the Competitive Design Process and invited three architectural teams to prepare design proposals for the site. The three Competitors invited to participate in the Competitive Process were:

- Cox partnering with Panovscott (in association);
- Rothelowman; and
- WMK.

All Competitors completed the Competitive Process and produced a final submission for consideration by the Selection Panel.

The process was undertaken pursuant to the *Sydney Local Environmental Plan 2012*, the *Sydney Development Control Plan 2012* and the *City of Sydney Competitive Design Policy 2012*.

Clause 4.3 of the City of Sydney Competitive Design Policy sets out the requirements for a Competitive Design Alternatives Report:

- (1) *When competitive design alternatives have been prepared and considered, the consent authority requires the applicant to submit a Competitive Design Alternatives Report prior to the submission of the relevant Stage 2 Development Application.*
- (2) *The Competitive Design Alternatives Report shall:*
 - (a) *include each of the design alternatives considered;*
 - (b) *include an assessment of the design merits of each alternative;*
 - (c) *set out the rationale for the choice of preferred design and clearly demonstrate how this best exhibits design excellence in accordance with the provisions of Clause 6.21(4) of the Sydney Local Environmental Plan 2012 and the approved Design Excellence Strategy.*
 - (d) *include a copy of the brief issued to the architectural firms.*

This report is prepared in accordance with this Clause, and describes the competitive process, provides the Selection Panel's assessment for each scheme, and demonstrates the Selection Panel's reasons for the selection of the winning scheme. Each member of the Selection Panel has reviewed this report and endorsed its content.

The competitive process was undertaken in accordance with the Design Excellence Strategy approved by the City for the site and the Competitive Design Alternatives Process Brief (Brief) prepared by Urbis and endorsed by Council on 23 March 2017. A copy of the Design Brief is provided at **Appendix A**.

1.2. THE SITE

The Competitive Process relates to 890-898 Bourke Street, Zetland (the subject site). The site is legally described as Lot 100 in DP 788794.

1.3. THE PROONENT

Baozheng Development Pty Ltd is the Proponent for the Competitive Process and invited three Competitors to prepare design proposals for the site.

1.4. THE CONSENT AUTHORITY

The subject site is located within the local government area of the City of Sydney Council. The consent authority for the approval of the development application will be the Central Sydney Planning Committee (CSPC), as the value of the project is likely to exceed \$50 million.

The Competition Process Manager liaised with Council officers throughout the competitive process and Council officers observed the competitive process and the architect presentations to ensure the integrity of the outcomes.

1.5. REGULATORY FRAMEWORK

The primary planning instrument applying to the site is the *Sydney Local Environmental Plan 2012* (Sydney LEP 2012).

There are provisions within Sydney LEP 2012 which allow the Consent Authority to grant, at its sole discretion, up to an additional 10% floor space ratio if a competitive process has been undertaken and design excellence is achieved.

1.6. ASSESSMENT OF THE SCHEME & WINNING DESIGN

An analysis and assessment of the designs was undertaken in accordance with the assessment criteria and the Competitive Design Alternatives Brief, in regards to the design, planning and commercial objectives of the brief, compliance with relevant planning controls (SEPPs, LEP, DCP, ADG) and the Stage 1 DA approval (pending at the date of this report).

The competitive design process has resulted in a scheme that was judged to be of high design quality. **The Panel resolved that the WMK scheme best demonstrates the ability to achieve design excellence as per Clause 6.21 of the Sydney Local Environmental Plan 2012 and the Design Brief requirements, and accordingly was awarded the winner of the Competitive Design Alternatives Process.**

Details of the Panel's deliberations of all schemes are discussed in the following sections.

2. COMPETITIVE DESIGN ALTERNATIVES PROCESS

2.1. OVERVIEW

Through the Competitive Process the Proponent ‘invited’ three competitors to make submissions in response to a Design Brief, prepared by Urbis and endorsed by the City of Sydney (the City). The process undertaken is described below:

- Three Competitors were invited to participate in the Competitive Process, held over a 6-week period.
- A briefing session was held on 30 March 2017 to provide an overview of the site, the planning parameters and the Brief, and an opportunity for the competitors to ask questions and seek clarification regarding the brief and competitive process procedures.
- The Selection Panel were provided with a copy of the Brief.
- Progress Review Sessions were held on 19 April 2017 as an opportunity for the Competitors to have their design works in progress reviewed and to seek feedback from Technical Advisors in relation to high level planning compliance, service requirements, buildability and cost planning.
- An optional session with the Quantity Surveyor (QS) was made available to each Competitor and was attended by each Competitor during the Competitive Process.
- A Register of Enquiries was kept during the Competitive Process documenting each enquiry and answer without revealing the source of the enquiry.
- All competitors submitted an A3 Design Report (Final Submission), articulating their proposed architectural scheme for the site.
- Each participant presented their architectural schemes to the Selection Panel during the Final Presentation date held on 25 May 2017, followed by the Selection Panel deliberations on the same day when one scheme was chosen as the winner of the Competitive Process.

The Competitive Process was undertaken in an open and transparent manner in full consultation and disclosure with Council officers in attendance as observers. In accordance with the City’s Competitive Design Policy, Council officers:

- Reviewed, provided comment and endorsed the Brief.
- Provided clarifications on planning compliance and competitive process procedures.
- The City was ‘copied’ into all communications between the Competitors and the Competitive Process Manager regarding any requests of the information or questions.
- Attended the Competitor briefing, Progress Review Sessions, Final Presentations and Selection Panel deliberations.

2.2. SELECTION PANEL

The Selection Panel appointed for the Competitive Process comprised:

- Peter Mould (Adjunct Professor, Faculty of Built Environment UNSW) - Chairperson
- Richard Wykes (Project Director, APP)
- Alec Tzannes (Director, Tzannes, Emeritus Professor UNSW Built Environment.)
- Kerry Clare (Director, Clare Design, Professor UoN + Bond University)

The Panel has extensive experience covering architectural and urban design and development.

2.3. TECHNICAL ADVISORS

Technical advice was provided to the competitors throughout the competition and an assessment of the schemes was undertaken at the progress session and final submissions. Technical advisors included the following:

- Erin Dethridge (Urbis) – Competitive Process Manager/Planner
- Murray Donaldson (Urbis) - Planner
- Stuart McConkey (RLB) – Quantity Surveyor
- Jeffrey Gall (RLB) – Quantity Surveyor
- Lilian Lee (Northrop) – Structural Engineer
- Ian McDaid (Northrop) – Structural Engineer
- Danny Liganaris (Northrop) – Civil Engineer

2.4. CITY OF SYDNEY OBSERVERS

The assessment was overseen by City Observers who attended the Final Presentations of the schemes and provided planning and procedural clarification to the Selection Panel. The following City Observers were present at various stages of the Competitive Process:

- Graham Jahn, Director of City Planning, Development and Transport (limited to Final Presentations and Selection Panel deliberations)
- Anita Morandini, Design Excellence Manager
- Silvia Correia, Design Excellence Coordinator (limited to Competitor briefing and Progress Review Sessions)
- Andrew Rees, Area Planning Manager
- Rebecca Thompson, Senior Development Assessment Officer (limited to Competitor briefing and Progress Review Sessions)
- Tahlia Alexander, Development Assessment Officer (limited to Final Presentations)

2.5. COMPETITION ARCHITECTS

The following three Competitors participated in the Competitive Process (numbered in order of presentation):

1. Cox partnering with Panovscott
2. Rothelowman
3. WMK

All competitors completed the Competitive Process.

2.6. KEY DATES OF COMPETITIVE PROCESS

The key dates for the competitive process were as follows:

Date	Milestone
27 March 2017	Commencement Date
30 March 2017	Competition Briefing Session
13 April 2017	Progress Submission Lodgement Date

Date	Milestone
19 April 2017	Progress Review Sessions
12 May 2017	Final Submission Lodgement Date
19 May 2017	Presentation Material Lodgement Date
25 May 2017	Presentation Day (Agenda attached at Appendix B)
25 May 2017	Decision Date
25 May 2017	Notification to Competitors

3. ASSESSMENT OF SUBMISSIONS

3.1. OVERVIEW

Following the lodgement of the competitive design schemes, a technical and compliance review of the submissions was undertaken by the Technical Advisors. This review was provided to the Selection Panel two days before the Final Presentations. Technical Advisors provided input limited to technical matters and compliance only.

Each Competitor presented their scheme to the Selection Panel explaining their approach to the site, design concept, compliance with the planning framework and Brief, and benefits of their scheme. The design schemes were then evaluated by the Selection Panel.

An analysis and assessment of each design was undertaken in accordance with the assessment criteria in the Brief. The Selection Panel focussed on design quality and undertook an assessment of each of the schemes identifying positive attributes and areas for further development. Based on this method of assessment, a winning scheme was recommended.

The three competitive design schemes all demonstrated to varying degrees an understanding of the Brief, site context and Stage 1 consent requirements, LEP, DCP and ADG controls.. Submissions were reviewed by Panel members prior to the presentations with regard to the assessment criteria, and then collectively during Selection Panel deliberations. The next section of this report is a description of the competitive design schemes.

The Panel noted that all schemes exceeded the budget by around 20% and was concerned that this margin of difference would strongly affect the ability to achieve design excellence if the original budget was strictly applied. It believes that either the budget or the brief (or both) needs to be adjusted to ensure that acceptable quality and amenity can be achieved.

3.2. COX & PANOVSCOTT

Figure 1 – Cox / Panovscott Scheme



Source: Cox Panovscott

This scheme challenged the Stage 1 building envelope in order to introduce a ‘green wedge’ around the SWC facility and provide an extension of the public open space at 906 Bourke Street. The breach of the Stage 1 Building Envelope to the southern boundary compromised the amenity of the proposed through site link and the development potential of the adjacent property. The development proposed two linear buildings that gave the site a more relaxed arrangement to maximise views to the open spaces, however the orientation results in a large number of south facing and single aspect apartments.

The concept of the central open space of the proposed residential development being contiguous with the public open space across the road at 906 Bourke Street, raised concerns about the resultant level of compromise to the communal open space amenity for residents.

The architectural character of the building and use of brickwork included a sensitive response to the materials of the adjacent conservation area. In addition, the vertical projections (Y-shaped brick elements) adopted to articulate the built form provide a sense of enclosure along busy Bourke Street. The use of the various brick elements (Y-shaped projections and ‘hit and miss’ walls) restricted solar access to, and outlook from many apartments. Further there were a number of apartments with snorkel bedrooms that did not meet requirements of the ADG or DCP provisions for achieving design excellence.

The submission achieved the highest commercial yield in comparison to other submissions, although the unit mix involved a large proportion of studios and one-bedroom apartments.

Waste collection and service areas are provided at ground level and the number of car spaces was rationalised to achieve a single basement level and reduce the extent of excavation. Other design considerations were the depth of planting zones above the basement and the potential conflict of locating the vehicle access opposite the vehicle access for 906 Bourke Street.

The structural buildability was generally well considered, however the quantity surveyor advised that significant additional costs would be incurred to construct the additional external wall (‘hit and miss’ brick) elements, and that the single basement was not necessarily the most cost effective due to shoring area.

3.3. ROTHLOWMAN

Figure 2 – Rothelowman Scheme



Source: Rothelowman

This scheme offered a well-resolved architectural solution to the arrangement of buildings on the site and diversity of housing types accommodated. In particular, the relationship of the type of housing experiences to the open spaces was a strength of the scheme. The scheme was compliant with the Stage 1 building envelope and the design maximised cross through apartments to ensure there are no apartments with a southerly only aspect.

Whilst the proposal achieved architectural diversity, the facades were unresolved given the multiple architectural expressions adopted and sunshading appropriate to orientation was not applied consistently. The scheme incorporates landscaping and public art within the communal open space ("The Cloister") and through-site link ("The Mews") and contributes to an inviting ground floor plane.

The proposal included numerous apartments with bedroom windows opening directly on to common corridors resulting in an acoustic privacy issue.

The commercial yield was low in comparison to other submissions, although the dwellings achieved the preferred apartment sizes.

The location of the vehicle access adjacent to the SWC facility was logical, however the change in levels adjacent to the facility had the potential to impact on its integration within the site at a future point in time.

3.4. WMK

Figure 3 – WMK Scheme



Source: WMK

This scheme demonstrated a well-articulated built form that responded to the site constraints and met the requirements of the Brief. The façade treatment added depth to the building and the built form, which stepped down to the south-west corner, and broke up the massing and scale of the building whilst maximising views and outlook to the neighbouring park. Concerns were raised regarding the inconsistency between the façade depths expressed in the rendered perspectives compared to the floor plans. The scheme largely respected the Stage 1 building envelope and includes a careful analysis of the site context.

The submission generally satisfied the commercial requirements of the Brief, including GFA, preferred unit yield targets and retail floor space. The retail space includes internal and external areas that provide an active street frontage and minimise the number of apartments facing busy Bourke Street at ground level.

Internal circulation spaces were well considered and with the ability to access the site from the three frontages. A high level of permeability is provided through the site, however landscaped areas were restricted, but there is the potential to increase the area of the internal courtyard/communal open space and maximise the extent of soft landscaping.

Further work to the apartment planning is required to address ADG objectives inclusive of solar access, natural cross ventilation and visual and acoustic privacy.

There were no perceived structural or buildability issues. The location of the vehicle access adjacent to the substation was logical, however the location of plant and the substation along the southern street frontage compromised the amenity of the arrival experience for residents to the adjacent lobby.

3.5. SUMMATION

The Selection Panel assessed the architectural schemes for the Competitive Process for the redevelopment of 890-898 Bourke Street, Zetland. Of the three schemes presented, the WMK scheme proposed the most convincing response to the design, commercial and planning objectives of the Brief and in the opinion of the Selection Panel, this scheme has the potential to deliver design excellence.

The Panel selected the WMK scheme as the preferred scheme to progress to the Stage 2 development application (DA) process and highlighted the following positive design elements:

- Stepping down of the building to the SWC facility and opening up views to the park from the higher levels in the eastern building;
- Location and arrangement of the retail tenancy in the north-west corner to address Bourke Street;
- Permeability and ability to access the site from three aspects and legible lift lobbies from the street;
- Using the through-site link as an address to apartments;
- Articulation of the roof to provide greater daylight deep into the upper floor apartments (skylight elements);
- Deep façade articulation;
- Raised terraces for the Bourke Street apartments to provide separation for privacy;
- General massing of built form, particularly the lower central element to Bourke Street and stepping towards the south-west corner;
- Music room expressed as a public room facing the Bourke Street;
- Roof gardens;
- General apartment layouts;
- Minimal apartments received no direct winter sunlight to living rooms;
- Performance against the provisions of the ADG;
- Proposed water management and inclusion of photovoltaic panels;
- Articulation achieved at ground level;
- Natural light to lift lobbies and circulation areas;
- Small number of apartments facing onto busy Bourke Street and traffic noise; and
- Rational structure and circulation between apartments and basement entries.

4. SELECTION PANEL RECOMMENDATION

The Selection Panel believes the WMK proposal has the potential to achieve design excellence, subject to the resolution of a series of issues as it develops, and believes the following aspects of the scheme should be addressed prior to lodgement of the Stage 2 DA:

Ground Plane

- Lift lobby areas to be more generous and welcoming.
- The design of central courtyard should increase the size and amenity of the public space, considering the interface between public and private open space, and the amenity provided to surrounding apartments by substantial planting.
- The location of plant/substation along the southern street frontage should be reconsidered.
- The landscape design should be developed to:
 - more clearly delineate private and public open space;
 - increase the extend of soft landscaping treatments, particularly within the central courtyard and along the eastern through-site link; and
 - maximise opportunities for deep soil planting to establish larger trees (in either public or private open spaces); particularly adjoining the eastern through-site link and to Bourke Street.
- The design should allow for future integration of the SWC facility, particularly with regards to the change in levels surrounding the facility.
- The Panel believes there is an opportunity to investigate the diversity of housing types within the development to take advantage of the different characteristics and open spaces of the site.
- The façade and structure should be more advanced so there is more surety in terms of the ground plane.

Upper Levels

- Consideration is to be given to the layout and acoustic treatment of apartments facing Bourke Street.
- Apartments in the internal corners of the north-east and north-west buildings should be replanned to address acoustic and privacy issues.
- The 6m separation between buildings towards the south of the site to be reconsidered to address acoustic and privacy issues.
- Access to the large private open space at Level 5 should be reconsidered and the design of the private open space should maintain visual and acoustic privacy to the apartments to the south.
- Consideration is to be given to privacy and noise transfer between the communal open space at Level 5 and adjacent apartments.
- Roof design to clarify/consider opportunities for further natural light to bathrooms in terms of provision of ventilating skylights.

Facades and Sections

- The design proposition implies depth and articulation that needs to be tested and proven through the development of both plan and section, and accurately detailed. The Panel believes the façade articulation should be detailed in a 1:20 scale wall section,
- The lack of detail of windows and their impact on the elevations was noted. Windows and their opening panels and framing, designed for good ventilation should be shown on the elevations, sections and renders. See point above.
- The Panel also expressed concerns with the extensive use of aluminium composite material cladding, which should be further investigated for tactility, detail, weathering and ability to achieve the fine edges indicated in the proposal.
- Elevation treatments need to address and recognise the environmental conditions of the different orientations, in particular wind, weather protection and solar access.

- The base as designed needs to be reinforced by the solidity and substance of natural masonry materials.
- The Panel expressed concern about the depth of the floor structure between the basement and ground level (as drawn) and how this affects deep soil and the apartments above.
- The amenity requirements of the ADG to be considered and met as the design develops.

5. CONCLUSION

This report summarises the outcomes of the Competitive Process for 890-898 Bourke Street, Zetland.

The Competitive Process was undertaken in accordance with the Design Excellence Strategy for the site and the Competitive Design Alternatives Brief prepared by Urbis and endorsed by the City on 23 March 2017.

This report documents the Competitive Process and the Selection Panel's final recommendations for the preferred design.

In summary:

- A Competitive Process has been undertaken for the design of the future redevelopment of 890-898 Bourke Street, Zetland. The relevant provisions of the Stage 1 DA Consent, Sydney LEP 2012, Sydney DCP 2012 and the City of Sydney Competitive Design Policy 2013 have been considered through this Competitive Process.
- The Competitive Process has been undertaken in accordance with Clause 6.21 of the Sydney LEP 2012. The submission of this report to Council satisfies the reporting requirements of Clause 4.3 of the Competitive Design Policy. The WMK scheme was recommended as the preferred scheme of this process and accordingly this architectural practice is to progress the scheme to be lodged as a detailed Stage 2 DA to the City of Sydney. The decision was unanimous as the Selection Panel believes that this scheme best met the Brief and achieved the highest result in terms of the relevant assessment criteria.
- It is considered that the winning scheme by WMK, subject to further refinement as set out in Section 4, fulfils the design, commercial and planning objectives of the Brief and has the potential to deliver design excellence.

The Selection Panel confirms that this report is an accurate record of the Competitive Process and endorses the assessment and recommendations.

Name	Signature	Date
Peter Mould		16.06.17
Richard Wykes		14.06.17
Alec Tzannes		15.06.17
Kerry Clare		14.06.17

APPENDIX A

COMPETITION DESIGN ALTERNATIVES BRIEF

COMPETITION DESIGN ALTERNATIVES BRIEF

890-898 BOURKE
STREET, ZETLAND

24 MARCH 2017
SA6433
PREPARED FOR BAOZHENG DEVELOPMENT PTY LTD

URBIS

URBIS STAFF RESPONSIBLE FOR THIS REPORT WERE:

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1. GENERAL INFORMATION

1.1. OVERVIEW

The purpose of this invited Competitive Design Alternatives Process (Competitive Process) is to select the highest quality architectural and urban design solution for the development of 890-898 Bourke Street Zetland (the site).

This Competitive Process is to be conducted in accordance with the City of Sydney (City) Competitive Design Policy, adopted on 9 December 2013:

http://www.cityofsydney.nsw.gov.au/_data/assets/pdf_file/0004/128065/Competitive-design-policy-adopted-09-December-2013.pdf

The development of the site is to comprise a mixed-use development involving residential apartments with active retail/commercial uses at the southern end of the Bourke Street frontage.

Clause 6.21(5)(c) of Sydney Local Environmental Plan 2012 (SLEP 2012) requires a competitive design process to be conducted for any development for which a development control plan (DCP) is required to be prepared under clause 7.20(2)(b) of SLEP 2012. Clause 7.20(2)(b) requires a DCP to be prepared for the development of any land with an area in excess of 5,000sqm. The site has an area of 5,194 sqm.

In accordance with sections 83C(2) and (3) of the *Environmental Planning and Assessment Act 1979*, the requirement for the preparation of a DCP has been satisfied by the approval of the Stage 1 development consent D/2015/98 (Stage 1 Consent) by Council on 1 October 2015. A copy of the Stage 1 Consent and the plans approved under the consent are provided at **Appendix A** and **Appendix B** respectively.

In addition, Clause 6.21(7) of SLEP 2012 provides that a building demonstrating design excellence is eligible for an amount of additional building height or floor space ratio (FSR) of up to 10%. In this regard, the proposed development of the site is to seek an additional 10% FSR instead of height, enabling a development with:

- building height of up to RL 44.70 (AHD); and
- FSR of 2.2:1 (i.e. a gross floor area of 11,426 sqm).

The Proponent will appoint the architect(s) of the winning entry to prepare a full design and documentation package of the winning proposal as outlined in **Section 5.17**.

The aims of the Competitive Process are:

- to produce a development design that exhibits design excellence for the site and that contributes positively to the Mary O'Brien Park precinct of Green Square and the Bourke Street streetscape;
- to produce a design that has the potential to be awarded up to an additional 10% FSR under the terms of clause 6.21(7) of SLEP 2012; and
- to inform the preparation of the Stage 2 development application (DA).

1.2. THE PROONENT

Baozheng Development Pty Ltd is the Proponent of this Competitive Process and has invited three (3) architectural firms to prepare design proposals for the site.

1.3. CONSENT AUTHORITY

The site is located within City of Sydney Local Government Area (LGA). The Consent Authority for the approval of the Stage 2 DA resulting from the Competitive Process is likely to be the Central Sydney Planning Committee ('CSPC') given that the 'Development Cost' is likely to be over \$50 million (based on a 'Construction Cost' of \$45 million).

1.4. CONSTRUCTION COST

The construction cost budget is \$45 million.

1.5. COMPETITIVE PROCESS MANAGER

The Proponent has appointed Urbis as the Competitive Process Manager. The contact person is:

Erin Dethridge
Senior Consultant, Urbis
Level 23, Darling Park Tower 2
201 Sussex Street
SYDNEY NSW 2000

All communications with the Competitive Process Manager are to comply with the Communication protocols set out in **Section 5.9** of this Brief.

1.6. THE COMPETITIVE DESIGN ALTERNATIVES PROCESS BRIEF

This Competitive Design Alternatives Process Brief (Brief) sets out the basis for participation, the responsibilities of the Proponent and the Selection Panel, and the role of the Consent Authority.

The City of Sydney has reviewed this Brief and has endorsed the Competitive Process on 23 March 2017. This Competitive Process was notified to the Australian Institute of Architects (AIA) on 27 March 2017 for its information.

The outcome of this Competitive Process does not fetter the decision of the Consent Authority in the determination of any subsequent DA submissions for this project. The Consent Authority will not form part of the Selection Panel although a representative from the Consent Authority will act as an impartial observer to the Competitive Process.

Nothing in this Brief approves any departure from the relevant State Environmental Planning Policies (SEPPs), Local Environmental Plans (LEPs), DCPs or the Stage 1 Consent and its conditions. Where there is any inconsistency between this Brief and the SEPPs, LEPs, DCPs or the Stage 1 Consent, the SEPPs, LEPs, DCPs and Stage 1 Consent documents prevail.

1.7. KEY DATES

Key dates for this Competitive Process are as follows:

Table 1 – Critical Dates

Date	Milestone
27 March 2017	Commencement Date Competitive Process begins with Brief issued to Competitors.
30 March 2017	Competition Briefing Date Briefing to all Competitors to be held at 10.00am at Urbis' offices: Level 23, Tower 2, 201 Sussex Street, Sydney
13 April 2017	Progress Submission Lodgement Date Competitors are encouraged to submit via email plans and area schedule for preliminary planning compliance feedback to the Competitive Process Manager by 5pm.

Date	Milestone
19 April 2017	<p>Progress Review Session</p> <p>Commencing 10am at Urbis' offices, each Competitor will be allocated up to one (1) hour to have their submission reviewed by the Technical Advisors.</p>
12 May 2017	<p>Final Submissions Lodgement Date</p> <p>Competitors submit Final Submissions (hard and electronic copies) to the Competitive Process Manager by 5pm.</p> <p>Competitive Process Manager to issue hard and electronic copy of Final Submissions to Selection Panel and City of Sydney by 10.00am the following day.</p>
19 May 2017	<p>Presentation Material Lodgement Date</p> <p>PowerPoint presentation to be submitted to the Competitive Process Manager via email by 5.00pm for audit prior to Presentation Date. No later than 24 hours prior to the Presentation Date, the Competitive Process Manager will request Competitors to delete any additional content.</p>
25 May 2017	<p>Presentation Date</p> <p>Competitors present their proposed designs to the Selection Panel. Presentations to be held at Urbis' offices.</p>
Within 14 days of Presentation Date	<p>Decision Date</p> <p>Date by which submissions are evaluated with a recommendation made for formal appointment of successful Architect.</p>
Within 14 days of Decision Date	<p>Notification to Competitors</p> <p>Date by which all Competitors are notified in writing of the Decision.</p>
Within 21 days of Decision Date	<p>Competitive Design Alternatives Report</p> <p>Date by which the Competitive Design Alternatives Report is to be issued to the City.</p>

2. SITE DESCRIPTION

2.1. THE SITE

The site is known as 890-898 Bourke Street, Zetland and forms part of the Green Square Urban Renewal Area. It is legally described as Lot 100 on DP788794 and has a site area of 5,194 sqm.

The site is irregular in shape and has a 70.10m frontage to Bourke Street and a depth of up to 89.71m.

The location of the site is identified in **Figure 1**.

Figure 1 – Aerial Image



Source: NSW Land and Property Information

Key characteristics of the site include:

- The site contains a two storey industrial/warehouse complex comprising eight formerly strata titled factory units (recently consolidated) occupied by a variety of commercial, light industrial and warehouse operators.
- Vehicular access is via a driveway from Bourke Street, located centrally along the frontage.
- A minor fall of 1.3m from its south-eastern (rear) corner to its north-western corner to Bourke Street. This represents a grade of 1 in 85 or 1.2%. A survey of the site is provided at **Appendix D**.
- There are no easements or rights of carriageway affecting the land.
- There is no significant vegetation within the site. The Stage 1 consent grants approval for the removal of all the existing trees on the site.

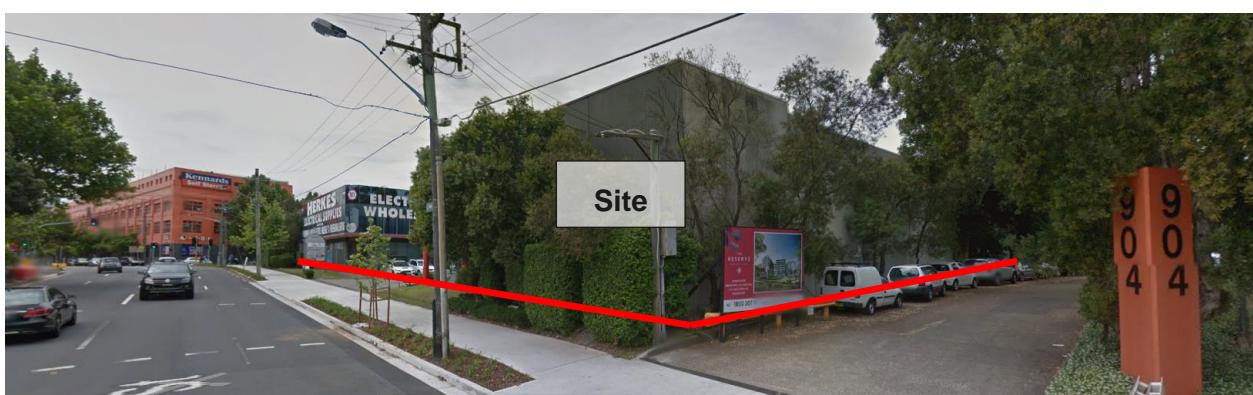
- Street trees and trees within the adjoining site at 906 Bourke Street are required to be retained and protected as detailed in the Stage 1 consent. An Arborist's report and tree plan is provided at **Appendix F**.

Figure 2 – Site Photographs



Picture 1 – Aerial photograph, looking east

Source: Google Earth



Picture 2 – Bourke Street frontage, looking east

Source: Google Earth



Picture 3 – Bourke Street frontage looking south

Source: Google Earth

2.2. SITE CONTEXT

Development within the immediate vicinity of the site comprises a mix of uses and scales, reflecting the site's location within the Green Square Urban Renewal Precinct:

- The site is located approximately 500m from the Green Square Railway Station / Town Centre.
- The site is located within the Mary O'Brien Park precinct (refer Section 2.5.8 of the Sydney Development Control Plan 2012 (SDCP 2012), which is bound by O'Dea Avenue to the north, Bourke Street to the west, Joynton Avenue to the east and the Green Square Town Centre to the south. As outlined in the SDCP, the character of new development within the north of the precinct (including the subject site) is *"to provide a sympathetic transition from the low scale residential development of the Zetland Conservation Area to the denser residential areas located in the north of Green Square."*
- The area is well served by existing nearby parks and open space areas including Waterloo Park, Mary O'Brien Park, Tote Park and Joynton Park.
- To the east of the site is 888 Bourke Street, which contains a two (2) storey industrial/warehouse complex similar to that existing on the site. Tenants within 888 Bourke Street include a picture framing business, shoe shop, massage business, furniture showroom, spa showroom and air conditioning supplier.
- The existing interface with the adjoining industrial property is shown in **Figure 3**.

Figure 3 – Existing Wall on Common Boundary with 888 Bourke Street, taken from within existing driveway on the site



- Further east fronting O'Dea Avenue and Joynton Avenue is the recently completed Emerald Park residential development, comprising buildings ranging from four to 13 storeys in height.
- The site surrounds 900 Bourke Street on its northern side, which contains a two (2) storey brick utilities building owned and operated by the Sydney Water Corporation (see **Figure 4**).

Figure 4 - Sydney Water Building at 900 Bourke Street, Zetland, looking north



- To the south and south-west of the site is 906 Bourke Street, an irregularly shaped parcel of land previously occupied by low-rise commercial units. Site works have recently commenced in accordance with development consent (D/2015/1791). The consent approved the demolition of existing buildings, the construction of eight and 13 storey residential buildings and three storey townhouses as well as the construction of a new through-road and pedestrian through-site link. The development at 906 Bourke Street will be known as 'The Reserve' and is discussed in more detail in **Section 3.1.1**. It is noted that 906 Bourke Street was formerly known as 904 Bourke Street and some drawings and documents may contain the old numbering.
- On the opposite side of Bourke Street, land to the north-west contains low rise terrace dwellings, which form part of the Zetland Estate Heritage Conservation Area (refer to **Figure 8** of this Brief).

Other contemporary developments in the surrounding area are shown in **Figure 5** and include:

- Emerald Park, a mixed-use residential complex up to thirteen (13) storeys in height, at 13-19 Joynton Avenue and 5 O'Dea Avenue;
- Viking, a mixed-use residential complex up to ten (10) storeys, in height at 30-36 O'Dea Avenue;
- Prominence, a residential complex up to nine (9) storeys in height, at 98 Joynton Avenue;
- Mondrian, a residential complex up to seven (7) storeys in height, at 2-4 Powell Street;
- Taylor House, a five storey commercial building accommodating Taylor College, at 965 Bourke Street; and

Maserati Ferrari Building, a two storey car showroom, at 862-874 Elizabeth Street, Waterloo. Further north-east of the site is Divercity Waterloo, a mixed-use residential complex up to twelve (12) storeys in height, at 830-840 Bourke Street and 23 Archibald Avenue.

Figure 5 – Surrounding Contemporary Developments



Source: Nearmaps 2014

2.3. SPECIAL SITE CHARACTERISTICS

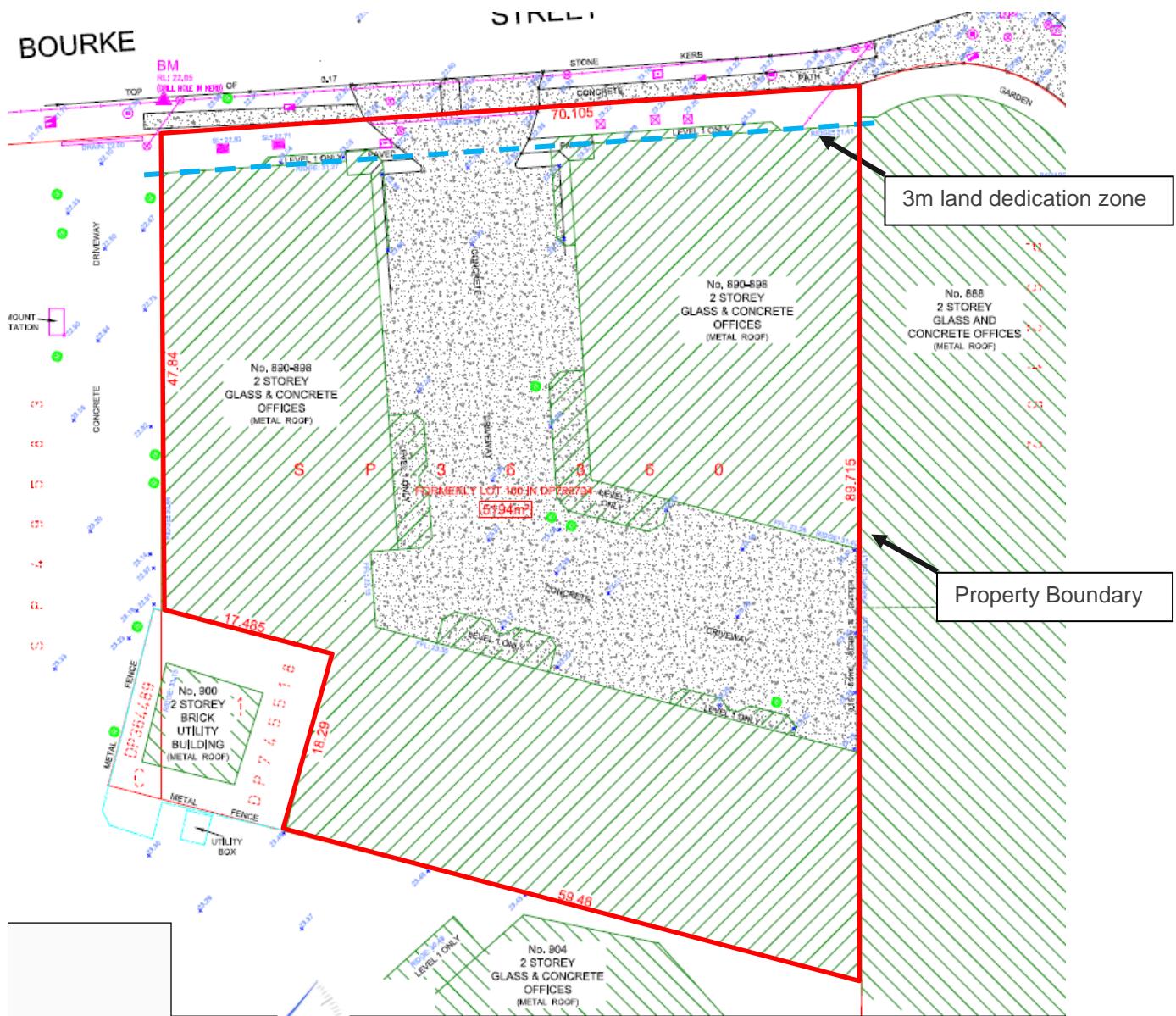
2.3.1. Bourke Street Footpath Widening

A Planning Agreement between the Proponent and the City provides for the dedication of land along Bourke Street for footpath widening, shown below in **Figure 6** and the consolidated site survey plan at **Appendix F**.

As required by the Planning Agreement, the 3m strip of land will be finished in concrete in accordance with the City's specifications for this location. The widened footpath will be a designated shared path, continuing the existing shared path along Bourke Street. The kerbside planted verge will remain / be reinstated, also consistent with the remainder of Bourke Street.

The basement footprint is not to encroach into the 3m land dedication zone and be contained within the future property boundary.

Figure 6 – Proposed Bourke Street Footpath Widening



Source: Daw and Walton & Urbis

The Planning Agreement will be amended as part of a future Stage 2 DA to include an additional dedication of a 300mm strip of land along the site's eastern boundary as shown in **Figure 7** and discussed further in **Section 2.3.2** below.

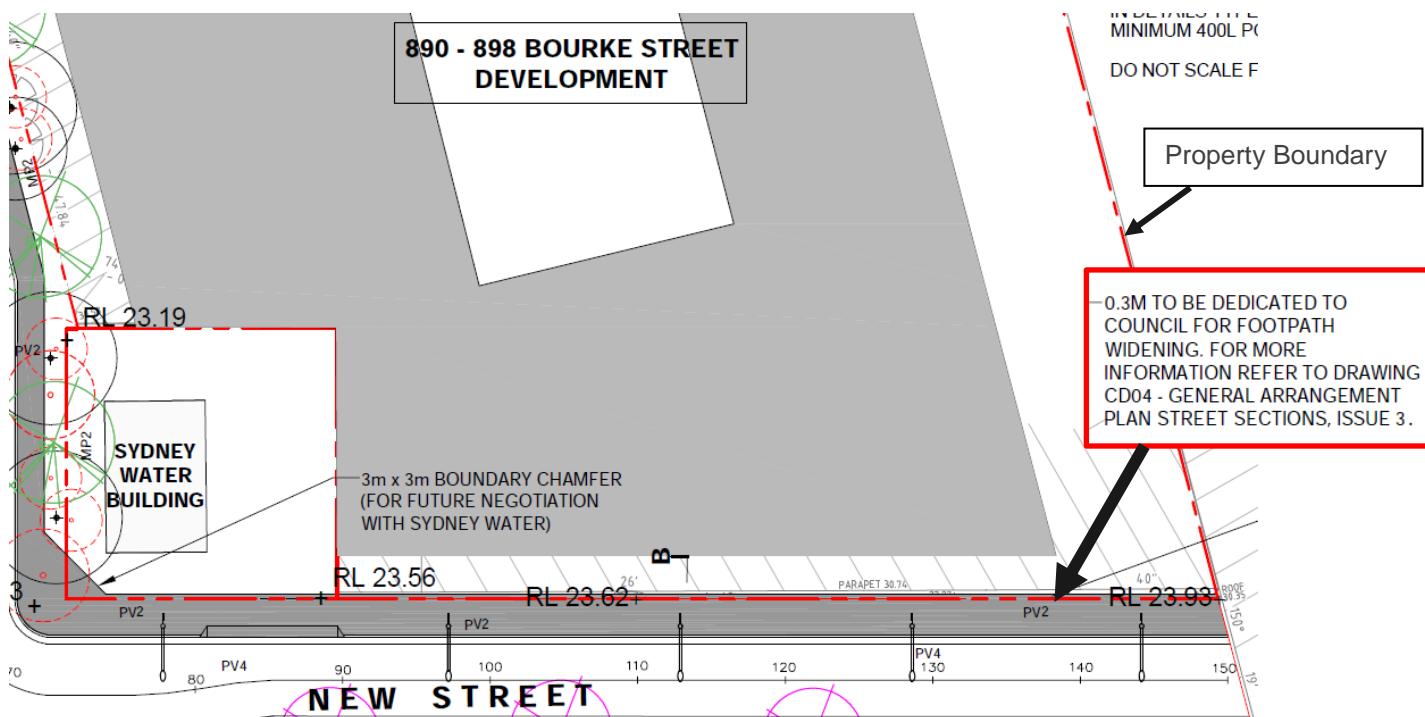
2.3.2. Public Domain Considerations

In May 2015, Council and the Central Sydney Planning Committee approved an amendment to SDCP 2012 in relation to the 906 Bourke Street (reflected in 6.3.3 of the SDCP).

Detailed public domain drawings of the new street and public open space associated with the approved development of 906 Bourke Street (D/2015/1791) are included at **Appendix H**. The drawings have been prepared by the City. While Competitors should proceed on the basis that the new public roads through 906 Bourke Street will be available at some future time, all apartments are to have adequate access from the existing public domain. This is to ensure that all residents can access their apartments if the future street being delivered by others is completed after the subject development is occupied.

The public domain drawings include an additional 300mm footpath dedication along the eastern boundary of the site for footpath widening. This additional dedication is not reflected in the approved Stage 1 plans, however is to be accommodated in all competitors' designs. Refer to **Figure 7** and the consolidated site survey at **Appendix E**.

Figure 7 – Footpath Dedication Along Eastern Boundary



Source: Google Earth

Consideration is also to be given to the development's interface with the Sydney Water Corporation's facility adjacent to site's south-eastern corner. On behalf of Baozheng, APP has requested consultation with Sydney Water Corporation however no response has been received to date.

2.3.3. Flooding & Stormwater Management

Based on the Alexandria Canal Catchment Flood Study and the *Alexandria Canal Flood Plain Risk Management Study* prepared by Cardno (NSW/ACT) Pty Ltd on behalf of Council, ANA Civil Pty Ltd has advised that:

- the site is unaffected by mainstream flooding associated with the Alexandria Canal;
- the site is generally unaffected by inundation, although minor inundation occurs during the 1 in 100 year ARI and Probable Maximum Flood event as a result of internal runoff, not mainstream overland flow;
- a commercial and residential ground floor finished floor level and a basement driveway including all openings to the basement are to be set at a level 300mm above the adjacent gutter invert to meet the requirements of Council's Interim Floodplain Management Policy;

- on-site stormwater detention will be required and is likely to be accommodated in a basement soffit and shall be connected to the nearest public stormwater network to meet the requirement of the Council's Sydney Streets Technical Specifications – Drainage Design; and
- the point of discharge should be to the Bourke Street kerb and gutter adjacent to the north-western corner of the site in accordance with the Council's Sydney Streets Technical Specifications – Drainage Design.

It is noted additional flood considerations may arise at the detailed assessment of the DA.

The consolidated site survey at **Appendix F** sets out the gutter invert levels across the site (for both the existing Bourke Street frontage and the future street).

2.3.4. Ground Conditions

A detailed site investigation report has been prepared by Environmental Investigations Australia.

The report concludes that the site can be made suitable for development as proposed subject to:

- the preparation of a Remedial Action Plan;
- material removed from the site being classified for off-site disposal in accordance with the EPA's Waste Classification Guidelines;
- any imported materials being assessed for potential contamination in accordance with the EPA's guidelines; and
- preparation of a final site validation report certifying the site suitability for the proposed development.

Environmental Investigations Australia has also prepared a Remediation Action Plan for the site. In relation to contamination, Competitors are to assume that the site can be made suitable for the proposed residential use.

A geotechnical investigation has been prepared by SMEC Testing Services Pty Ltd which indicates that it would be prudent to extend the impermeable basement support into rock to control seepage around the base of the support system.

These documents can be made available to the competitors.

The groundwater table will be intercepted as a result of excavation for the proposed basement car park. The future excavation and construction of the development will need to comply with requirements of the NSW Office of Water. Their General Terms of Approval are included in Schedule 3 of the Stage 1 Consent (Conditions 35 to 51) included in **Appendix A**. Attention is drawn to Condition 36, which states that the design and construction of the building must prevent any take of groundwater (other than temporary construction dewatering) by making any below-ground levels that may be in contact with groundwater must be watertight for the anticipated life of the building.

2.3.5. Heritage

The site is not listed as a heritage item and the site is not located in a heritage conservation area.

The site is located in the vicinity of heritage items including:

- Item No. I2074 - "Chase Terrace", including interiors, on 999-1011 Bourke Street opposite the site, which has been identified as being of local significance; and
- Item No. I2072 - a Federation warehouse with art deco additions, on 866-882 Bourke Street on the north-eastern corner of Bourke Street and O'Dea Avenue, which has also been identified as being of local significance

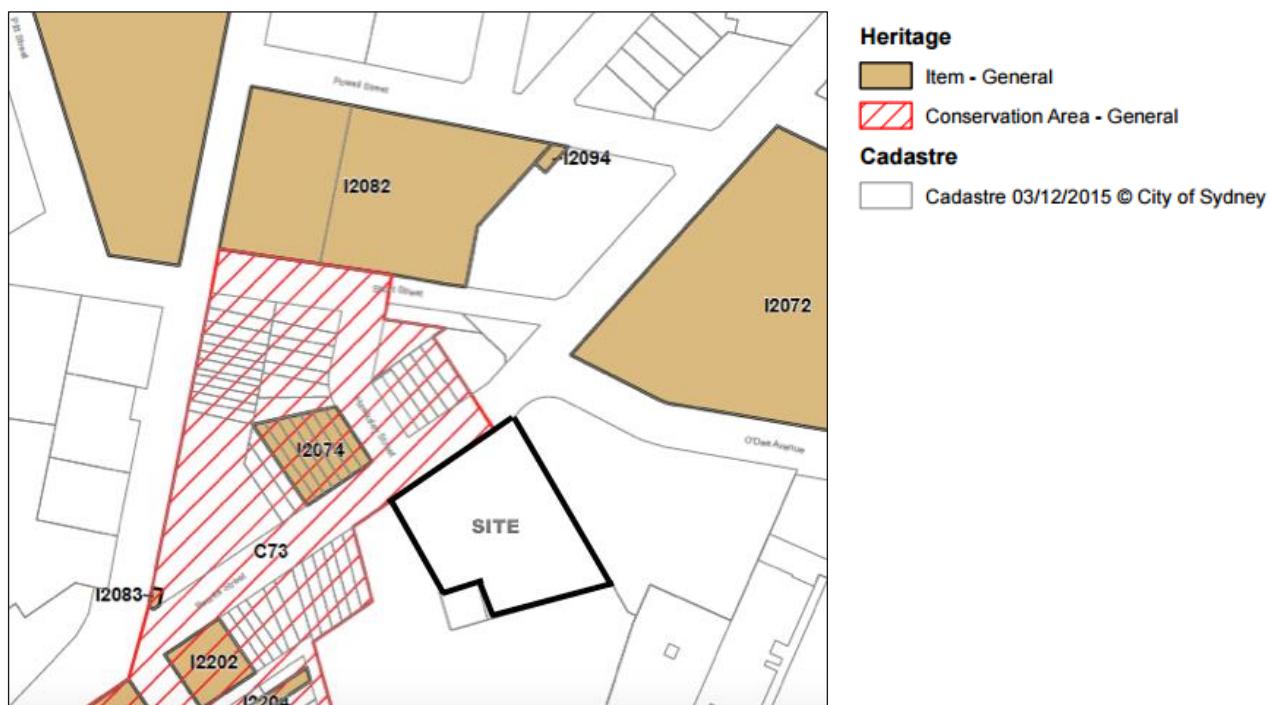
The Zetland Estate heritage conservation area (C73) abuts the site's Bourke Street frontage.

The location of these items and the conservation area are shown on **Figure 8**.

A copy of the Heritage Impact Statement, prepared by NBRS + Partners, submitted in conjunction with Stage 1 Development Application is contained in **Appendix G**.

Competitors may access further historic information regarding Zetland using the following link:
<http://trove.nla.gov.au/list?id=61302>.

Figure 8 – Sydney LEP 2012 Heritage Map (annotated)



3. DEVELOPMENT APPLICATIONS

3.1. STAGE 1 DEVELOPMENT CONSENT

Stage 1 Deferred Commencement Consent D/2015/98 for the redevelopment of the site was granted by Council on 1 October 2015. The consent outlines the building height, envelope and setback criteria for the future development of the site. The consent was activated on 21 December 2016.

A copy of the Stage 1 Consent and the approved plans are provided at **Appendix A** and **Appendix B** respectively.

The Stage 1 Consent defines the key parameters to guide the preparation of submissions for the Competitive Process and its conditions are to be observed, including design conditions that modify the envelope. Key considerations are as follows:

- The detailed design, including services, must be contained within the approved building footprint and envelope (Condition 5).
- The maximum height of any future building must not exceed RL 44.70 (AHD) (Condition 6).
- The basement car park is to be setback 4m from the western property boundary to retain existing trees (Condition 9).
- Site frontages are to be designed to achieve activation (Condition 10).
- Building design to comply with the relevant provision of SEPP 65, ADG, SLEP 2012 and SDCP 2012, particularly with regards to building separation distances and depths, minimum floor to floor heights, dwelling mix and sizes, solar access and natural ventilation, private and communal open space, car and bicycle parking provision, vehicle access and the provision of a through-site link (Condition 11).
- Trees that are approved for removal and those to be retained (Conditions 23 and 24).
- Large scale tree planting within the deep soil landscape strip on the eastern side of the site and provision of communal open space in the form of roof terrace/s (Condition 26).
- Adequate space to be provided for manoeuvring of service vehicles (Condition 29).
- Loading and unloading operations must be accommodated within the site (Condition 30).
- Provision of bicycle parking (Condition 33).
- The siting of the substation to address Ausgrid requirements (Condition 34).

Competitors are responsible for ensuring that the Stage 1 DA conditions have been addressed in their submissions.

A copy of the report on the Stage 1 Consent to Council's Major Development Assessment Sub-Committee, dated 4 August 2015, is provided at **Appendix C**.

3.1.1. Consents Relating to Adjacent or Nearby Sites

A number of development consents have recently been granted for properties surrounding the site. These should be considered as part of the context analysis in the design process. These development consents, with the sites identified in **Figure 9** are discussed below.

Figure 9 – Surrounding Recent Developments and Approvals



Source: Nearmaps 2014

The Reserve - 906 Bourke Street, Zetland - D/2015/1791

On 12 October 2016, consent was granted for the detailed design for demolition of existing buildings, remediation and erection of 343 apartments in two buildings, one eight storeys and another 9-13 storeys, 15 three storey townhouses and 263 basement car parking spaces.

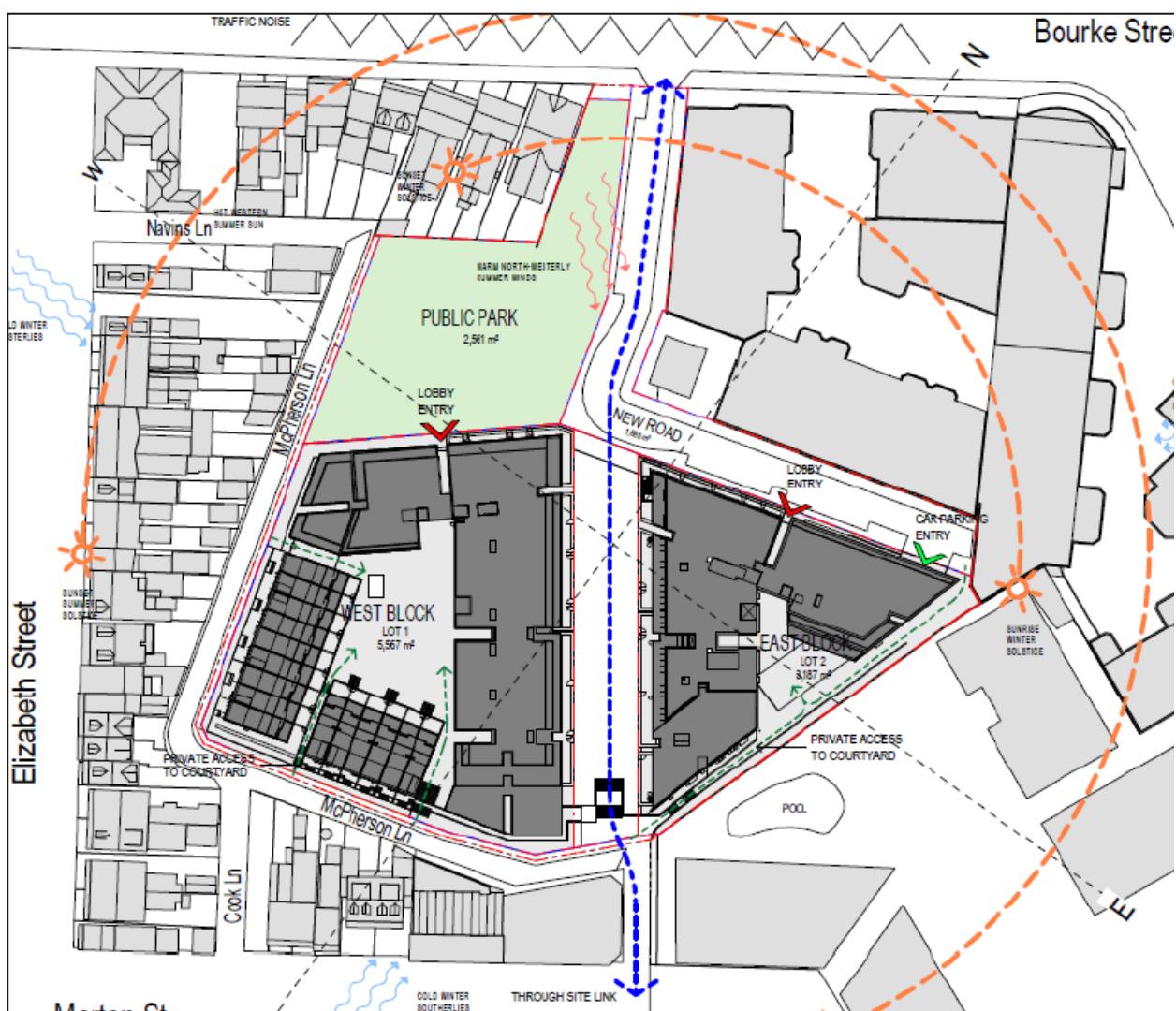
The project also involves the construction of a new public through-road, a pedestrian through-site link, a public park and associated public domain and landscape works. The vehicle driveway to the basement car park is proposed from the new roadway, directly opposite the south-eastern corner of the site.

Remediation works have begun in association with the approved development.

Figure 7 includes the site plan for 906 Bourke Street and a figure detailing the approved building heights across the site.

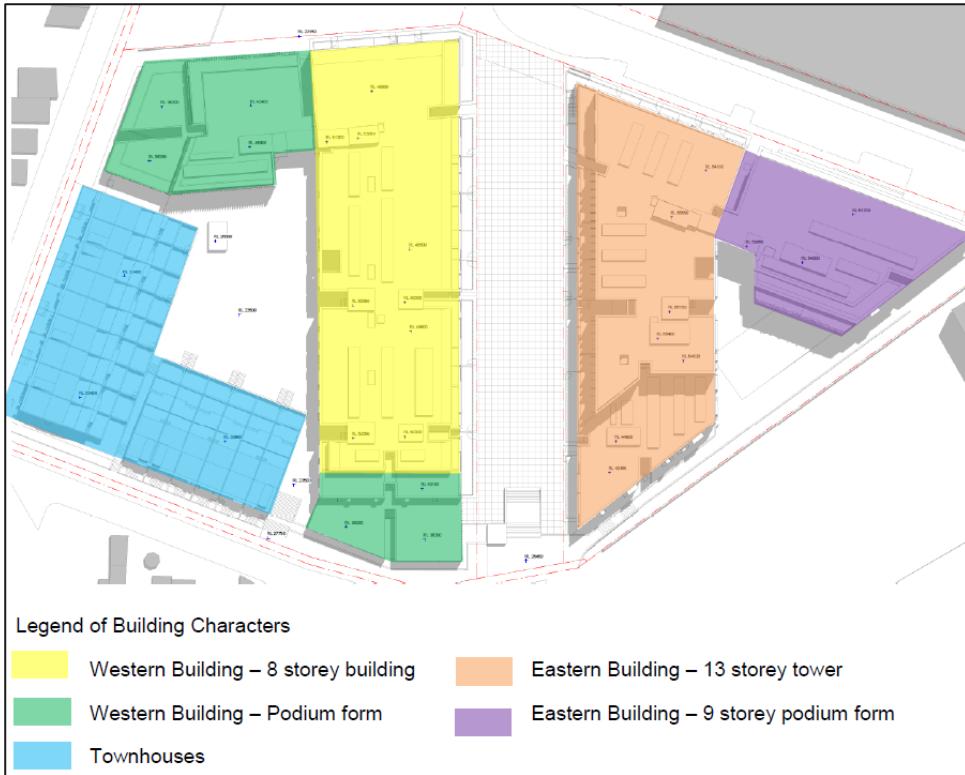
Images of the approved development are included below. More details of the development and the approved plans can be found at the following link: <http://www.cityofsydney.nsw.gov.au/council/about-council/meetings/calendar-and-business-papers-2016/2016/july/central-sydney-planning-committee>

Figure 10 –The Reserve - 906 Bourke Street (D/2015/1791)



Picture 4 – Site Plan (see DA D/2015/1791 for detail)

Source: BVN Architects in SEE, Urbis



Picture 5 – Building Heights

Source: CSPC Report 21 July 2016, City of Sydney



Picture 6 – Photomontage, viewed from the north (future park)

Source: CSPC Report 21 July 2016, City of Sydney



Picture 7 – Photomontage, viewed from the south (McPherson Lane)

Source: CSPC Report 21 July 2016, City of Sydney

Waterfall - 18-20 O'Dea Avenue, Waterloo

Conditional approval was granted on 4 December 2014 for a Stage 1 DA (D/2013/2030) for demolition of all existing structures, approval of four building envelopes ranging from 7 to 20 storeys in height, residential apartment and ground floor retail land uses and the provision of public infrastructure including construction and dedication of Dunkerley Place, Hatter Lane, O'Dea Ave setback and the Rope Walk park.

Conditional approval was further granted on the site for a Stage 2 DA (D/2014/1837) for 331 residential units, ground floor retail and communal facilities, basement parking and public domain works including a new laneway, local street, and public open space.

More details of the development can be found at the following link:

http://www.cityofsydney.nsw.gov.au/_data/assets/pdf_file/0008/220112/141204_CSPC_ITEM08.pdf

Figure 11 – Waterfall – 18-20 O'Dea Avenue (D/2013/2030)



Source: CSPC Report 4 December 2014, City of Sydney

Ovo - 956-960 Bourke Street, Zetland – D/2014/642

Conditional approval was granted on 4 December 2014 for a mixed use development on the site containing 789 sqm of ground level retail space and 310 apartments in one 10 storey building and one 28 storey building.

More details of the development can be found at the following link:

http://www.cityofsydney.nsw.gov.au/_data/assets/pdf_file/0009/220113/141204_CSPC_ITEM09.pdf

Figure 12 – Ovo – 956-960 Bourke Street (D/2014/642)



Source: CSPC Report 4 December 2014, City of Sydney

Infinity – 301-303 Botany Road, Zetland – D/2014/1758

Conditional approval was granted on 29 July 2015 for a mixed use development containing 401 apartments, retail tenancies, multi-purpose function facility and future Square Plaza in a part 8 and part 20 storey building.

More details of the development can be found at the following link:

http://www.cityofsydney.nsw.gov.au/_data/assets/pdf_file/0018/233514/150514_CSPC_ITEM07.pdf

Figure 13 – Infinity- 301-303 Botany Road (D/2014/1758)



Source: CSPC Report 14 May 2015, City of Sydney

4. OBJECTIVES AND REQUIREMENTS FOR THE PROPOSAL

4.1. PLANNING

Submissions for the Competitive Process must exhibit design excellence in all aspects of building and detailed landscape design, including urban / architectural form, massing, materials and finishes.

The key planning objective for this Competitive Process is to develop an appropriate detailed design response to the Stage 1 DA (D/2015/98) and relevant planning control framework, including:

- State Environmental Planning Policies:
 - SEPP – BASIX (Building Sustainability Index: ‘BASIX’);
 - SEPP 55 – Remediation of Land (‘SEPP 55’);
 - SEPP 65 – Design Quality of Residential Apartment Development and the associated Apartment Design Guide (ADG);
- Sydney Local Environmental Plan 2012 (SLEP 2012); and
- Sydney Development Control Plan 2012 (SDCP 2012).

Documents relating to the statutory framework and Council’s policies can be viewed at www.cityofsydney.nsw.gov.au and www.legislation.nsw.gov.au.

Other planning objectives are:

- To minimise the effect of development within the site on the heritage items and heritage conservation area in its immediate vicinity;
- To optimise pedestrian connectivity through the site; and
- To achieve energy and water sustainability outcomes.

Non-compliance is discouraged by the Proponent and the Consent Authority. The City of Sydney will not support any increase in building height above the LEP maximum height limit.

The Stage 1 Consent provides the approved building envelopes for development on the site and the siting constraints within which the architectural form of the development is to be designed.

Any other instances of non-compliance with a planning control or the Stage 1 Consent must be justified against the objectives and strategic direction of the relevant controls. The planning justification for any non-compliances should be included in the Statement of Compliance as part of the Competitor’s submission (refer to **Section 6.2.4**).

The design should also complement the City of Sydney’s street improvement programme, public domain improvements, local safety strategy initiatives, and traffic management initiatives.

After having regard to the planning controls and policies listed above, schemes should allow for a FSR of up to 2.2:1, based on an **additional FSR of up to 10%** being awarded. Additional FSR may be awarded to the Proponent by the consent authority where design excellence is considered to have been achieved, as set out in Clause 6.21 (7) of the SLEP 2012. The provision of additional FSR (as opposed to additional height) **must be justifiable in terms of planning and architectural merit grounds** having regard to the objectives and requirements of this Brief.

In calculating FSR, reference should be made to the definition of Gross Floor Area contained in SLEP 2012.

A summary of the key statutory planning controls is contained in **Appendix I**.

4.2. DESIGN

The design objectives for this Competitive Process are to stimulate high quality architectural and urban design proposals that:

- Create imaginative architectural and urban design proposals that achieve design excellence as defined in Clause 6.21(4) of the *Sydney Local Environmental Plan 2012*.
- Deliver a positive relationship between building design and the existing and future public domain.
- Improve the quality and amenity of the public domain and provide active street frontages along Bourke Street and proposed future streets.
- Ensure that the development positively contributes to the existing and future character of this precinct.
- Provide high quality integrated landscaping.
- Address the built form relationship between the site and adjoining sites where developments have been approved or under construction.
- Ensure an appropriate interface with existing warehouse/showroom uses surrounding the site, while recognising these land uses may change to residential in the foreseeable future. Existing uses are described at **Section 2.2** of this Brief and surrounding residential projects are described at **Section 3.1.1**.
- Ensure design proposals are consistent with the objectives of SEPP 65 and its associated Apartment Design Guide (ADG).
- Comply with the Stage 1 Consent and the applicable planning controls.

4.2.1. Built Form and Setbacks

The maximum height of buildings on the site is to be restricted to RL 44.7 (AHD) and 6 storeys in accordance with Conditions 5 and 10(i) of the Stage 1 Consent and Section 4.2.1.1 of *SDCP 2012*. All plant, lift overrun and the like are to be contained within approved maximum height as defined under the SLEP 2012.

Designs must be contained within the footprint and building envelope approved in the *Stage 1 Consent* and comply with the conditions applying to the consent and relevant planning controls.

Built form designs are to have regard to the following setback requirements:

- 4m setback from the western property boundary at basement level to ensure that the trees located on the neighbouring property at 906 Bourke Street are not adversely impacted by excavation works;
- 3m setback from **future** boundary to be established along Bourke Street after dedication for footpath widening will be required in accordance with *SDCP 2012*.
- The 3m setback along southern frontage can be reduced to 2.7m having regard to the additional 300mm strip to be dedicated.

Any variations from these requirements will need to be justified.

No apartments should rely on access from any proposed future street which may not be constructed until after the completion of development on the site. (See Condition 11 of the Stage 1 Consent).

Consideration should be given to:

- the location of the park and the building forms proposed on 906 Bourke Street, refer 6.3.3 of *SDCP 2012*, public domain drawings for 906 Bourke Street provided at **Appendix H** and approved DA plans for 906 Bourke Street (refer link to CSPC report at **Section 3.1.1**);
- the Sydney Water Corporation building adjacent to the site's south-western corner (see **Section 2.2**); and
- flood planning levels.

4.2.2. Residential Design Considerations

The design and layout of residential apartments should be enhanced with solar access, ventilation, acoustic privacy, and private and communal open space. In this regard, the proposed development should comply with the provisions of the ADG and SCDP 2012 as outlined in the Planning Compliance Summary at **Appendix I**.

In addition, consideration should also be given to the requirements for apartments with setback bedrooms at Clause 4.2.3.14. This requirement states ‘the design excellence bonus will not be awarded where a building includes apartments with setback bedrooms.’

4.2.3. Public Domain

As discussed in **Section 2.3.1**, the footpath along Bourke Street will be widened through the dedication of a 3m strip of land along this frontage. The basement footprint is not to encroach into the 3m land dedication zone and be containing within the future property boundary. An additional 300mm footpath dedication along the eastern boundary of the site for footpath widening is also required.

These land dedications are not reflected in the approved Stage 1 plans, however they are to be accommodated in all competitors’ designs.

In accordance with Condition 11n of the Stage 1 consent, the provision of a through-site link is required on sites greater than 5,000sqm as per Section 3.1.2.2 of the SDCP 2012. The approved building envelope shown on the approved Stage 1 plans indicate the potential for a through-site link along the eastern boundary as part of the 10m setback. As required by the SDCP, the through-site link must have a minimum width of 4m, or 6m where bike access is provided, and have a clear height of at least 6m.

4.2.4. Flooding

As discussed in **Section 2.3.3**, commercial and residential ground floor finished floor level and a basement driveway including all openings to the basement are to be set at a level 300mm above the adjacent gutter invert to meet the requirements of Council’s Interim Floodplain Management Policy.

The consolidated site survey at **Appendix E** sets out the gutter invert levels across the site (for both the existing Bourke Street frontage and the future street).

4.2.5. Communal Facilities

Competitors Designs are to incorporate an acoustically isolated common room of approximately 20m² that may double up as a music practice room for residents’ use.

4.2.6. Landscape

Submissions should include a high level consideration of landscape design in terms of both the public and private domain. The Sydney Landscape Code: Volume 2 should be taken into consideration.

Details of the distribution, location, size, sun/shade, access and intended use of the communal open spaces should be provided. These spaces should meet the recreation needs of future residents and be diverse in scale, aspect and use. Access to all communal open spaces must be direct and equitable to provide for all residents.

The landscape design should provide intimate places that people would want to be in as well as extensive planting, including deep soil planting.

Where landscaping occurs on podiums or roof terraces, adequate soil depth should be provided in accordance with the requirements of the ADG. The building parapet height must enable this and allow all planting to be safely maintained without a fall risk. The need for any specialised safety equipment for maintenance should be minimised.

On roof terraces, lifts and/or stairs and ancillary structures are to be contained within the approved building envelope.

The landscape interface between the ground level and the street is to include a high quality landscape treatment within the required setback zone and must achieve a balance of privacy for ground floor units and casual surveillance of the street. The landscape should support an active street, and use a combination of fences/walls, planting and direct access to ground floor units to achieve this.

Deep soil should be proposed in large, consolidated areas that can also support large tree planting. This should ideally be co-located with communal open spaces. Structures and impermeable surfaces within deep soil must be minimised.

Any private open space located at ground level which adjoins communal open space/courtyard areas should be of sufficient dimension to protect residential privacy. Ideally, private open space provides for a minimum 4 metre separation between habitable rooms to the boundary of a communal open space/courtyard

Provide for imaginative treatment to security fence lines in combination with landscaping to minimise the presentation of defensive barriers between private/communal open space and the public domain.

4.2.7. Vehicular Access

The location of vehicular access to the site was not approved in the Stage 1 consent. Permanent vehicular access is to be from the future road network and not from Bourke Street. However, as the timing of the future roads to be delivered in association with 906 Bourke Street is not certain, designs will initially have to make provision for vehicular access directly from Bourke Street. A location adjacent to the north-western corner of the site, furthest from the signalised intersection of Bourke Street and O'Dea Avenue, was investigated by the Proponent, however was not supported by Council.

In accordance with Clause 3.11.10 of Sydney DCP 2012, any vehicle access on Bourke Street is not to be located:

- within 10m of the proposed new road along the western boundary of the site;
- within 25m of the signalised intersection with O'Dea Avenue; or
- within 6 metres of the alignment of Hawksley Street.

Competitors should explore options for alternative vehicular access from the future road network to be established through 906 Bourke Street. Access location should have regard to vehicular and pedestrian safety and the requirements for tree retention on the western boundary of the site. Consideration should also be given to the location of the car park entry to the development at 906 Bourke Street.

Access ways and ramps to the car park are to be integrated within the building envelope. All areas are to be treated in material quality equal to standard of the building façade to achieve a high quality interface with the public domain.

Waste management facilities for storage and on-site collection are to be located within the building's basement car park.

Loading and unloading operations associated with servicing the site are required to be contained within the site and vehicles are to enter and exit the site in a forward direction.

4.2.8. Car and Bicycle Parking

The number of on-site car parking spaces, bicycle spaces and car share spaces were not approved in the Stage 1 consent. In accordance with Condition 11h of the Stage 1 consent, the development must comply with the provisions relating to car parking and bicycle parking contained within SLEP 2012 and SDCP 2012.

The Planning Compliance Summary at **Appendix J** includes the relevant car and bicycle parking rates for the development.

4.2.9. Waste Management, Servicing and Loading

In accordance with Condition 22 of the Stage 1 consent, provision must be made within the basement for the storage and on-site collection of commercial and residential waste. Waste management facilities must comply with Council's requirements for waste management facilities as per Council's "*Policy for Waste Minimisation in New Developments 2005*" and Clause 3.11.13 of Sydney DCP 2012.

4.2.10. Street Activation

Competitors should address ground floor interfaces with the public domain along the Bourke Street frontage and the future road frontages to be established on 906 Bourke Street adjacent to the site's western and southern boundaries, in accordance with Section 3C of the Apartment Design Guide.

These frontages are to be designed to achieve activation in accordance with Condition 10 of the Stage 1 Consent. Consideration should be given to pedestrian permeability through the site connecting existing and future roads and surveillance and activation of the required through-site-link.

4.2.11. Heritage

Competitors are to address the impact of development on the heritage values and setting of the adjoining Zetland Estate heritage conservation area and the heritage items located in the vicinity of the site.

4.2.12. Public Art

Conceptual ideas and strategy for the location and character of any public art are to be included as a consideration in the competition response. However, detailed planning of art for the site will occur in the subsequent preparation of the DA application.

The City's Green Square Public Art Strategy proposes permanent and temporary public art projects that link public domain areas with future developments in Green Square. Given the site's proximity to the Green Square Town Centre, a link to the Strategy is provided <http://www.cityartsydney.com.au/about/green-square-public-art-plan/>

4.2.13. ESD

Design should be consistent with the Environmental Performance standards for the project detailed at Appendix K.

4.2.14. Street Tree Retention and Required Setbacks

The Stage 1 Consent requires the following trees to be retained and protected throughout the proposed development:

Tree No.	Botanical/Common Name	Location
1-2	Platanus x hybrida (Plane tree)	Street trees
13-18	Callistemon viminalis (Bottlebrush)	
19-20	Eucalyptus saligna (Sydney Blue Gum)	Adjacent to the site's western boundary within 906 Bourke Street
21	Pittosporum undulatum (Native Daphne)	
22	Eucalyptus botryoides (Swamp Mahogany)	

The location of the trees is indicated on the plan in Appendix F.

Competitors should ensure that the basement car park is setback 4m from the western property boundary to ensure that the trees located on 906 Bourke Street are not adversely impacted as a result of excavation works.

Competitors should also ensure the trees to be retained are taken into account in the design of a permanent vehicular access point (see **Section 4.2.7** of this Brief).

4.2.15. Electricity Substation

A substation is required to be incorporated into the development.

Locating the substation near the eastern boundary of the site was proposed but not approved by the Stage 1 Consent. The location was considered to constrain the achievement of a quality pedestrian link proposed along the site's eastern boundary connecting Bourke Street to the future road along the site's southern boundary.

Competitors should consider alternative locations for the substation. It should be integrated into the building and positively contribute to the architectural design, landscaping and public domain.

4.2.16. Bourke Street Retail

The retail space should be designed to accommodate as wide a range of uses as is possible. Consideration should be given to the provision of a food and drinks premises and therefore the requirement to accommodate a grease trap and mechanical exhaust.

As required by Section 4.2.1.2 of the SDCP, buildings with a commercial or retail use are to have a minimum 4.5m floor to floor height at ground level.

In accordance with Condition 10 of the Stage 1 consent, the retail frontage to Bourke Street should be designed to achieve activation.

4.2.17. Building Services

A Building Services Brief (**Appendix M**) sets out requirements for mechanical, electrical, hydraulic, vertical transportation.

Sufficient space is to be provided within the design to accommodate building plant and services. Plant must be fully concealed and if located on the roof, must be within the maximum allowable building height in metres and located behind the parapet. Rooftop plant should be minimised, located and screened to be out of view to reduce any potential impact on the outlook of neighbouring developments and public domain.

All required street level utilities, services and fire exits must be located discreetly and designed to be integrated with the architectural treatment.

No air conditioning units are to be location on balconies.

4.3. COMMERCIAL

The commercial objectives for this Competitive Process are:

- to achieve a gross floor area of some 11,426sqm, comprising a base floor space ratio of 2:1 plus an amount of additional FSR of 10% for demonstrating design excellence;
- to accommodate retail/commercial tenancies along the site's Bourke Street frontage with a gross floor area of up to 140 sqm. This space is to be designed to accommodate as wide a range of uses as is possible;
- to accommodate up to 160 apartments;
- to achieve a dwelling mix consistent with market demands for residential accommodation in Zetland while complying with SDCP;
- to facilitate efficient vehicular access to and from the existing and proposed road network in this area;
- to ensure that the buildings are designed so they can be constructed in an economically viable manner; and
- to provide adequate off-street parking for motor vehicles, motor cycles and bicycles.

4.3.1. Apartment Size & Mix

Schemes must achieve a dwelling mix across the site that is consistent with the ranges specified in Section 4.2.3.12 of the Sydney DCP 2012, and apartment sizes must comply with the minimums specified in the ADG. In addition, the Proponent has the following preferred mix that is consistent with the DCP, and the following preferred sizes that are consistent with the ADG.

Dwelling Type	DCP Mix	Preferred Mix	ADG Apartment Sizes	Preferred Apartment Sizes
Studio	5 – 10%	10%	35sqm (min)	35 sqm
1-bed	10 – 30%	15%	50sqm (min)	52 sqm
2-bed (1 bath)	40 – 75%	30%	70sqm (min)	70 sqm
2-bed (2 bath)	40 – 75%	35%	75sqm (min)	80 sqm
3-bed	10% (min)	10%	90sqm (min)	100 sqm

At least 50% of the total number of 3-bedroom apartments proposed are to be located on the ground floor level with private open space suited for use by families.

4.3.2. Construction Cost and Buildability

The development of the site, including all demolition, excavation, construction and finishes, has an approximate budget of \$45 million including associated landscaping. The schemes are able to meet this construction budget.

Submissions must have regard to construction methodology including site access and buildability taking into account the proximity to adjoining buildings under construction or completed.

The design is to demonstrate an efficient and hence cost effective structural design which will minimise structural transfers and cantilevers.

Selected materials should be durable and fit for purpose. If innovative materials are proposed for use, evidence must be provided regarding their practicality, durability and examples of prior successful use in the Australian context are to be considered and provided.

5. COMPETITION PROCEDURES

5.1. COMPETITIVE DESIGN ALTERNATIVES PROCESS ENTRY

This Competitive Process is by invitation only, which will include a total of three (3) Competitors (architectural firms).

Each competitor in this Competitive Process must be a person, corporation or firm registered as an architect in accordance with the *Architects Act 2003* (NSW) or, in the case of interstate or overseas competitors, eligible for registration.

5.2. IMPARTIAL OBSERVER

This Competitive Process will be overseen by an impartial Observer appointed by the City of Sydney. This observation includes all briefings of Competitors and Selection Panel sessions. The Observer will be present at:

- briefing of the Competitors;
- any further information briefings or progress sessions;
- presentations; and
- Selection Panel deliberations.

All information and responses sent to the Competitors and Selection Panel are also to be copied to this Observer.

5.3. THE SELECTION PANEL

The Competitive Process Selection Panel is to comprise a total of four (4) members in the following composition:

- Two (2) x independent experts, nominated by the City of Sydney; and
- Two (2) x representatives nominated by the Proponent.

Selection Panel members are to:

- Represent the public interest;
- Be appropriate to the type of development proposed;
- Include only persons with enterprise and experience in the design and construction professions; and
- Include a majority of registered architects with urban design expertise.

If any Panel member has to withdraw prior to the completion of the Competitive Process, another Panel member of equivalent credentials will be appointed by the Proponent in consultation with the City of Sydney.

5.4. OBLIGATIONS OF THE SELECTION PANEL MEMBERS

In accepting a position on the Selection Panel, panel members agree to:

- have no contact with any of the Competitors in relation to the site and the Competitive Process from their time of appointment until the completion of the process other than during presentations of the submissions;
- evaluate entries promptly in accordance with the Competitive Process timetable;
- abide by the requirements of the Brief;
- consider technical advice provided by the Consent Authority;

- refrain from introducing irrelevant considerations in addition to, or contrary to those described in the Brief, or contrary to the statutory framework relevant to the site;
- make every effort to arrive at a consensus in the selection of a winner;
- prepare a report setting out their decision; and
- sign a statement confirming they have read and understood the Panel member's obligations and agree to respect those obligations for the duration of the Competitive Process.

5.5. SELECTION PANEL CHAIR

The Selection Panel is to agree on the selection of the Chair. The primary function of the Chair is to ensure that the Selection Panel deliberations proceed in a fair and orderly manner.

In coordination with the Competitive Process Manager, the Chair shall at the conclusion of Selection Panel deliberations supervise:

- letter of notification to the winning and unsuccessful Competitors;
- the writing of the Selection Panel comments to be included in the Competitive Design Alternatives Report; and
- review and endorsement of the final Competitive Design Alternatives Report prepared by the Proponent.

5.6. OBLIGATIONS OF THE PROONENT

The Proponent agrees to have no contact with the Selection Panel members, Competitors, CSPC Members or elected Councillors in relation to the site and the Competitive Process from their time of appointment until the completion of the Competitive Process other than what is set out in this Brief.

If the City of Sydney is informed by a Selection Panel member that they have been contacted by the Proponent or a Competitor in relation to the site or Competitive Process, then the process may be terminated.

5.7. TECHNICAL ASSISTANCE TO THE SELECTION PANEL

The Proponent shall engage Technical Advisors to review each Competitor's submissions.

The Selection Panel may seek independent technical assistance, if required. The technical advisers will be strictly limited to only providing technical advice to the Selection Panel in relation to their professional discipline. Technical advisors shall refrain from providing advice on matters outside their remit.

5.8. TECHNICAL ASSISTANCE TO COMPETITORS

Competitors are encouraged to seek advice to achieve the best possible architectural and commercial outcome for the proposed scheme.

All Competitor and Technical Advisor communications must be submitted in writing to the Competitive Process Manager and copied to the City in accordance with the Competition procedures (**Section 5.9 Communications and Questions**). The Proponent will make available Technical Advisors to each Competitor. Such services will be paid for directly by the Proponent (over and above the competition entry fee).

Note: It is emphasised that the role of Proponent appointed Technical Advisors is not to design certain elements of the development. Their purpose and role is to review and provide technical advice and clarification on each Competitor's scheme in confidence.

Competitors may elect to appoint their own technical consultants as needed.

All Technical Advisors are required to keep the content and intellectual property of each scheme confidential.

Each Competitor is eligible for five (5) hours of planning advice from Technical Advisors or the Competitive Process Manager paid for by the Proponent during the Competitive Process.

The Proponent will make available the following Technical Advisors listed in **Table 2**.

Table 2 – List of Technical Advisors

Service	Technical Advisor
<i>Town Planning</i>	Ian Cady, Urbis Pty Ltd Email: icady@urbis.com.au
<i>Quantity Surveyor</i>	Matthew Harris Rider Levett Bucknall (RLB) Email: matthew.harris@au.rlb.com
<i>Civil and Structural Engineer</i>	Jamie Shelton Northrop Consulting Engineers Pty Ltd Email: jamies@sydney.northrop.com.au
<i>Flooding</i>	Jamie Shelton Northrop Consulting Engineers Pty Ltd Email: jamies@sydney.northrop.com.au

All questions to advisors and responses to these questions will be compiled and issued in writing to Competitors and the City without revealing the source of the question. Where exclusive advice is provided to individual Competitors, such advice is issued in writing and copied to the City.

5.8.1. Quantity Surveyor

Throughout the Competitive Process, the Quantity Surveyor (QS) will respond to specific questions, but will not undertake reviews of partially completed submissions. Prior to the lodgement of Final Submissions, in order to facilitate timely assessment and advice, Competitors are on one occasion only provided the opportunity to meet directly with the QS in the preparation of the final cost estimates. The meeting must be observed and recorded by the Competitive Process Manager. All other communications with the QS must be conducted strictly in accordance with communication protocols set out in **Section 5.9** of this brief.

Following the lodgement of Final Submissions, the QS will provide an assessment and estimate of cost of works for each scheme. The Competitive Process Manager will provide the estimate to the respective Competitor no later than 2 days prior to the Final Presentations. Whilst no additional work will be requested or required by the Competitors prior to the Final Presentation, Competitors are encouraged to review the QS statement and consider whether the construction budget has been met, and whether there are any barriers to achieving the budget during detailed design.

5.9. COMMUNICATIONS AND QUESTIONS

Competitors should direct all communications regarding clarification of the Competitive Process in writing to the Competitive Process Manager only. All communications must be addressed to:

Erin Dethridge
Senior Consultant, Urbis
Email: edethridge@urbis.com.au

Competitors should submit any questions in writing to the Competitive Process Manager in accordance with the Competition procedures. Answers to these questions (where they do not reveal the specifics of the Competitor's schemes) will be compiled and issued in writing to all Competitors without revealing the source of the questions.

Competitor's questions will be vetted by the Competitive Process Manager and addressed publicly or privately according to their nature. All information and responses sent to Competitors are also copied to the City Observers.

Except where stated otherwise in this Brief, Competitors should not communicate verbally regarding clarification of the Competitive Process with either:

- the Proponent;
- the Selection Panel;
- City of Sydney;
- Consent Authority;
- other Competitors; or
- Technical Advisors.

5.10. PROGRESS SUBMISSION

Competitors are encouraged to submit preliminary plans and an area schedule on the Progress Submission Lodgement Date ahead of the Progress Review Session. See Key Dates at 1.7 of this Brief and **Appendix L** for the yield table template. The City is to be copied in on any Progress Submissions.

The purpose of the Progress Review Session is to provide the Competitors with an opportunity to have their design works in progress reviewed and seek feedback from the Technical Advisors in relation to high level planning compliance, service requirements, buildability and cost planning advice.

The Progress Review Session is an informal session and conducted to assist Competitors in seeking compliance clarifications. No formal presentation is required and material may be presented at the discretion of the Competitor.

Feedback is limited to planning, technical and compliance planning matters and all advice must be minuted by the Competitive Process Manager and issued in writing with 2 days following the Progress Review Session. Feedback is also copied to the City Observers.

5.11. CLOSING DATE FOR FINAL SUBMISSIONS

Final Submissions must be lodged with the Competitive Process Manager not later than 5:00pm on the submission Lodgement Date.

It is the sole responsibility of the Competitor to ensure actual delivery to the Competitive Process Manager by the deadline set out in **Section 1.7** of this Brief.

5.12. LODGEMENT OF FINAL SUBMISSIONS

Competitors shall lodge their Final Submissions in a sealed package to Urbis at the following address:

Competitive Process Manager

Erin Dethridge
Senior Consultant, Urbis
Level 23, Darling Park Tower 2
201 Sussex Street
SYDNEY NSW 2000

Phone: (02) 8233 9900

Email: edethridge@urbis.com.au

The package should be labelled "890-898 Bourke Street Zetland – Competitive Design Alternatives Process".

The City Observer may be present when the submissions are opened.

5.13. LATE SUBMISSIONS

Unless formally requested by the Proponent for the sole purpose of clarification, the Selection Panel will not take into consideration any new material submitted by Competitors following lodgement of Final Submissions.

5.14. PRESENTATION DATE – PRESENTATION MATERIAL

On the Presentation Date, Competitors present their Final Submissions to the Selection Panel.

Competitors are to provide an electronic version of their Presentation Submission material to the Competitive Process Manager no later than 48 hours prior to the Presentation Date, in accordance with the Key Dates nominated in **Section 1.7** of this Brief.

No new material is to be presented over that lodged as Final Submissions. Presentation material may be a reformatted version of the Final Submissions content, but must not contain any new content and notably must not include revisions to or enhancements of architectural plans and renders.

The purpose of submitting the Presentation Submission in advance is for the Competitive Process Manager to audit the presentations for new material. The Competitive Process Manager, no later than 24 hours prior to Presentation Date, shall request Competitors to delete any additions to content from the presentations.

5.15. DISQUALIFICATION

Submissions that fail to meet a significant number of the Competitive Process requirements may be disqualified, in particular, where:

- the submission is received after the Final Submissions Lodgement Date and time;
- the submission is contrary to the objectives of the City of Sydney planning controls;
- the submission is not submitted in accordance with the submission requirements, as stated in this Brief; and or
- a Competitor attempts to influence the decision of the Proponent or a member of the Selection Panel outside of the Presentation Date.

The Selection Panel will determine any disqualifications.

5.16. SELECTION PANEL ASSESSMENT AND DECISION

- A minimum of three (3) competitive design alternatives are to be considered.
- A copy of the submissions (hard and electronic) will be provided to each Selection Panel member and the City at least one (1) week prior to the Presentation Date.
- The Competitors must present their entry in person. The presentation must be no longer than thirty (30) minutes followed by a further twenty (20) minutes of questions (total up to fifty (50) minutes).
- Each Competitor's submission will be graded according to the criteria attached to this Brief.
- If, in the opinion of the Selection Panel, key design issues require further resolution before a decision can be made, the Selection Panel may recommend that design amendments be made to the top two submissions. The Selection Panel is expected to reach a decision on whether to request a revision to submissions within 14 days of the Presentation Date. For these resubmissions, the Selection Panel will list the specific design issues that should be addressed in each scheme and request the respective Competitors to amend their entry within a defined period of time (having regard to the extent of the requested amendments).
- Competitors must re-present the entry within twenty-one (21) days of the initial presentation. Upon completion of the second presentation, the Proponent will rank the Competitors' submissions (first and second).

- The decision of the Selection Panel will not fetter the discretion of the Consent Authority in its determination of any subsequent development application associated with the development site that has been the subject of this Competitive Process.

5.17. APPOINTMENT OF THE ARCHITECT OF THE WINNING PROPOSAL

The Proponent shall appoint the architect of the winning entry as selected by the Selection Panel. Full design and documentation of the winning proposal should then occur. To ensure that design continuity and excellence of the winning proposal are maintained throughout the development process, the architectural commission is expected to include as a minimum:

- preparation of a DA;
- preparation of the design drawings for a construction certificate;
- preparation of the design drawings for the contract documentation; and
- continuity during the documentation and construction phases through to the completion of the project.

The winning architect is expected to be appointed within one (1) month of the Decision Date.

An indicative program for construction is twenty (20) months following Council approval.

The winning architect may elect to work in collaboration with other architectural practices to fulfil the project documentation obligations but must retain control over design decisions throughout the life of the project.

In the event that the Proponent decides not to proceed with the architect of the winning entry, or the Proponent limits the architectural commission outlined above, the Proponent will:

- Provide the Consent Authority with written reasons for this decision.
- Restart the Competitive Process.

5.18. ANNOUNCEMENT

The Competitive Process results will be made public within twenty-one (21) days of the Decision Date.

The Proponent will advise all Competitors in writing of the decision within the timeframe in **Section 1.7** of this Brief.

5.19. COMPETITIVE DESIGN ALTERNATIVES REPORT

A report (referred to as the Competitive Design Alternatives Report) will be submitted to the Consent Authority advising of the outcome of the Competitive Process. This report must be provided to the City in accordance with the timeframe in **Section 1.7** of this Brief.

The Proponent is required to submit to the City a Competitive Design Alternatives Report. The Report shall detail:

- the Competitive Process and include a copy of the Brief;
- each design alternative considered;
- the Selection Panel's assessment of the design and merits of each submission;
- set out the rationale for the choice of the preferred design and demonstrate how the design exhibits design excellence in accordance with the SLEP 2012 and Design Excellence Strategy; and
- any further recommended design amendments relevant to the achievement of design excellence.

The Report is to be signed by all Selection Panel members.

The Proponent is to submit the Report to the City in accordance with the timeframe set in **Section 1.7** of this Brief.

The Consent Authority may advise whether it endorses the Competitive Process and outcome in the form of pre-DA advice.

5.20. CARE OF MATERIALS AND INSURANCE

It is each Competitor's responsibility to wrap, ship, mail or deliver by other means, their submission, ensuring timely and intact arrival. The Proponent disclaims any responsibility for any loss or damage during transit.

No liability shall be attached to the Proponent regarding the submissions, whilst in the possession of the Proponent. All reasonable care shall be taken to maintain the submissions in good condition, but a limited amount of 'wear and tear' is inevitable. Competitors are advised to make copies of their submissions, so as to retain a copy of their work.

Responsibility for insuring submissions rests solely with Competitors.

5.21. COMPETITION FEE

A Competition Fee of \$50,000 (excluding GST) shall be paid to each Competitor for participating in this invited Competitive Process.

All competition fees and/or prizes are to be lodged in trust with the Australian Institute of Architects (AIA) prior to the competition date unless an alternative arrangement to guarantee fee payment has been negotiated between the Competitors and the Proponent.

Upon receipt of evidence that a comprehensive competition submission has been lodged, the Proponent must pay the agreed competition fee to the Competitor.

5.22. COPYRIGHT

Copyright for each submission shall remain in the ownership of the original author(s) unless separately negotiated between the Proponent and the architect.

The Proponent and the Consent Authority shall have the right to display, photograph, publish or otherwise duplicate and distribute submissions, presentations and reports produced as part of this Competitive Process and their content for publication, publicity or other such purposes. Any such reproductions shall acknowledge the copyright owner(s).

Execution of the Invitation and Acceptance letter shall be deemed as legal permission for the Proponent and Consent Authority to publish the Competitor's designs. No compensation shall be made for such reproduction or publication.

5.23. CONFIDENTIALITY

Competitors shall observe complete confidentiality at all times in relation to their submission, including plans, information whether verbal or written, documentation or any advice until the Decision Date. The same strict rules of confidentiality are to apply to any consultants or other persons or entities from whom the Competitors may seek advice.

This Brief and the documents comprising the Competitor's submission are confidential and the Competitor must not use them for any other purpose than with the prior written consent of the Proponent until the competition decision is announced and made public.

The Proponent, Competitors and the Selection Panel shall observe complete confidentiality in relation to all submissions received, prior to a decision in relation to the Competitive Design Alternatives Process that is made public.

5.24. RETURN OF DOCUMENTS

The Proponent retains the right to hold submissions for a period of up to six (6) months from the closing date of the Competitive Design Alternatives Process. The Proponent shall retain the winning submission(s). Other submissions shall be returned to the owner(s).

Competitors shall be notified by letter of the date on which submissions will become available for collection.

5.25. AMENDMENTS TO THE COMPETITIVE PROCESS BRIEF

Once approved, no amendment to the Brief is permitted without the prior approval of the City. Any change to the program is considered an amendment to the Brief.

In the event that a change in program is sought by the Proponent or Competitors, the Competitive Process Manager must notify all Competitors in writing of the proposed change. All Competitors are required to provide written acceptance of the proposed change, prior to City granting approval. On the City's approval, the Competitive Process Manager will provide written notification to all Competitors of the agreed change in program.

5.26. CONSENT AUTHORITY ENDORSEMENT OF BRIEF

In accordance with the City's Competitive Design Policy, the Consent Authority must endorse this Brief in writing prior to the commencement of this Competitive Process. An unendorsed Brief is not to be distributed to Competitors. Failure to observe this requirement will lead to the Consent Authority declining endorsement of this Competitive Process.

6. SUBMISSION REQUIREMENTS

Competitors are encouraged to optimise the quantity of presentation material to include only essential information to explain the proposed design.

6.1. PROGRESS SUBMISSION

Ahead of the Progress Review Session, each Competitor is encouraged to submit Progress Submission material generally consisting of:

- Preliminary plans and sections
- Preliminary yield analysis / area schedule

Progress Submission material is submitted via email as set out in **Section 5.10** of this Brief.

6.2. FINAL SUBMISSION

6.2.1. General

The submission must be clear and concise, with a preference for design information over graphic presentation.

The submission documents shall be submitted to the Competitive Process Manager in the form of:

- Six (6) complete hard copies of all submission documents (A3 format); and
- Six (6) USB Memory sticks with complete copies of all submission documents.

Names of Competitors are to be clearly visible on entries.

6.2.2. Drawings and Graphics

Each competitor's submission shall generally consist of:

- Aerial photograph (1:2000).
- Location context sketch plan (1:1000)
- Existing site plan (1:500).
- Site Analysis (1:500).
- Concept plan (1:500) – this must locate existing and new streets, public domain improvements, building form and massing of site and adjacent area.
- Ground floor plan including landscaping concept and the relationship to the public domain; (1:200).
- Typical plans, elevations and sections including typical/all basement levels including loading dock arrangements; (1:200).
- Roof plan (1:200)
- Streetscape elevations including neighbouring context (1:200).
- Landscape concept plan including deep soil calculations (1:200)
- Typical apartment layouts for studio, one bedroom etc (1:100)
- Amenity diagrams demonstrating which apartments achieve the minimum ADG:
 - solar access with accompanying 3D sun's eye view diagrams;
 - natural ventilation requirements; and
 - visual privacy (building separation distances).
- 3D massing or modulation study.

- 3D computer generated perspective(s)/photomontages(s) of the proposal. A minimum of three (3) images are required from the following locations:
 - Looking north-east from McPherson Lane, across the proposed park within the future development on 906 Bourke Street (See **Section 3.1.1**);
 - Looking east from Bourke Street, including the façade to the new road along the western boundary of the site; and
 - Looking south from Bourke Street, emphasising the Bourke Street frontage of the proposed building.
- A digital materials/image board and indicative finishes (samples are not required).
- Stage 1 DA envelope overlay drawing illustrating compliance with envelopes. Overlays must include relevant plans, sections, elevations and 3D massing model.
- Shadow impact diagrams demonstrating compliance with planning controls. Diagrams are to clearly represent the proposed shadow impact relative to the Stage 1 DA envelope shadow impact.
- GFA plans illustrating GFA accounting to be completed as per the area schedule included at Error! Reference source not found..

In reference to all drawings and graphics:

- Plans, elevations and sections and 3-D massing studies must illustrate the proposed design relative to the Stage 1 DA;
- All plans, elevations and sections are to be presented at the scale specified and are to include the scale, scale bar and north point.
- Critical relative levels to be shown on relevant plans, sections and elevations.
- Site plans, elevations and sections must include adjacent properties to clearly represent the proposed design in relation to neighbouring context;
- For the purposes of planning coordination the winning architect may be required to submit to the Consent Authority a DWG/DGN file of ground floor plan geospatially referenced with MGA (Mapping Grid of Australia) coordinates.

6.2.3. Statement of Intent

In addition to **Section 6.1** above, each submission should include a design statement addressing the proposal's approach, the response to the brief's objectives and the manner in which design excellence is achieved. The statement should also address construction methodology.

6.2.4. Statement of Compliance

Each submission must include a Statement of Compliance prepared by a suitably qualified person indicating the proposal's compliance with the controls. **Appendix I** provides a summary of planning controls and a template for Competitors to complete including FSR, dwelling mix and SEPP 65 considerations.

Each submission must also highlight and justify any non-compliance with the applicable planning controls and Stage 1 approval for the site.

6.2.5. Yield Analysis

Each submission shall include the filled out pro forma table setting out NSA (Net Sellable Area), GFA (Gross Floor Area), GBA (Gross Building Area), as indicated in the Additional Information and as measured in metre² as follows.

- NSA – The area within the dwelling measured to the inner face of a party wall and/or an external wall and to the face of the glazing line for wall to ceiling openings and excluding the area of a fully enclosed services ductwork within the dwelling.
- GFA – The area as defined in the SLEP 2012.

- GBA – The total of the enclosed and unenclosed area of the building at all building floor levels measured between the normal outside face of any enclosing wall, balustrades, terraces and supports. Excludes basements.

The details are to be completed in the excel spreadsheet format (as included in **Appendix L**) for both the Progress Review and Final Submission.

6.2.6. ESD

Each submission should include a summary of sustainability initiatives and how the performance standards have been incorporated into submissions.

6.2.7. Construction Costs

Each Final Submission is to include the completed Development Yield Schedule in **Appendix L**. The submission may also include a discussion on how the design is an economically feasible development option.

The entries will all be costed by the Proponent's appointed quantity surveyor (QS) as set out at **Section 5.8.1** of this Brief.

6.2.8. Model and Digital Animations

The provision of a physical model, digital animations or fly-throughs should not be submitted and will not form part of the Selection Panel's assessment.

6.3. PRESENTATION DATE MATERIAL

At the time and date nominated at **Section 1.7** of this Brief, Competitors are to provide an electronic version of their Presentation material to the Competitive Process Manager for audit.

The presentation material shall be collated into a single Power Point slide show or PDF document and delivered on USB flash drives or submitted via email.

No new material is to be presented over that lodged as Final Submissions. Refer **Section 5.14** of this Brief.

APPENDIX B FINAL PRESENTATION DAY AGENDA



890-898 BOURKE STREET, ZETLAND

COMPETITIVE DESIGN ALTERNATIVES PROCESS

Location: Urbis Training Room – Level 23, Darling Park Tower 2, 201 Sussex Street, Sydney

Date: Thursday, 25 May 2017

AGENDA

8:30am – 9:30am	Arrival / Introduction / Technical Compliance Overview
9:30am – 10:30am	Cox / Panovscott Presentation (40 mins) & questions (20 mins)
10:30am – 10:45am	<i>Break</i>
10:45am – 11:45am	Rothelowman Presentation (40mins) & questions (20mins)
11:45am – 12:00pm	<i>Break</i>
12:00pm – 1.00pm	WMK Presentation (40mins) & questions (20mins)
1:00pm – 1:30pm	<i>Lunch</i>
1:30pm – 3.00pm	Selection Panel Deliberations

ATTENDEES

Selection Panel

Peter Mould (Adjunct Professor, Faculty of Built Environment UNSW)
Richard Wykes (Project Director, APP)
Alec Tzannes (Director, Tzannes)
Kerry Clare (Director, Clare Design)

Baozheng
Hongliang Xin
Yulong Xiang
Sherry Wang
Frank Xu
Nancy Xin
Jessica Xu

Technical Advisors

Erin Dethridge (Urbis) – Competitive Process Manager
Murray Donaldson (Urbis) - Planning
Stuart McConkey (RLB) – QS
Lilian Lee (Northrop) – Structural
Ian McDaid (Northrop) - Structural
Danny Liganaris (Northrop) – Civil

City of Sydney Observers

Graham Jahn – Director of City Planning, Development and Transport
Silvia Correia – Design Excellence Coordinator
Anita Morandini – Design Excellence Manager
Andrew Rees – Area Planning Manager
Tahlia Alexander – Development Assessment Officer



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